

Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date

O- COVER

A-000	Cover Sheet	05/23/2019
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I- CIVIL

C-1	Existing Conditions Site Plan	10/04/2018
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2- LANDSCAPE

L-1	Landscape Plan	05/23/2019
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3- ARCHITECTURAL

EX-100	Existing Conditions	05/23/2019
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A-021	Area Plans	05/23/2019
A-100	Basement Floor Plan	05/23/2019
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AV-2	Front View	05/23/2019
AV-3	Shadow Study	05/23/2019



PROJECT NAME

**81-83 Alpine St.
Residences**

PROJECT ADDRESS

81-83 Alpine Street
Somerville, MA 02144

CLIENT

Elan Sassoon

ARCHITECT



17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

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REGISTRATION



Project number 19016
Date 05/23/2019
Drawn by TC
Checked by JSK
Scale

REVISIONS

No.	Description	Date

Cover Sheet

A-000

81-83 Alpine St. Residences

LOCUS MAP



PROJECT: ALPINE STREET RESIDENCES

PROJECT ADDRESS:
81-83 ALPINE STREET
SOMERVILLE, MASSACHUSETTS

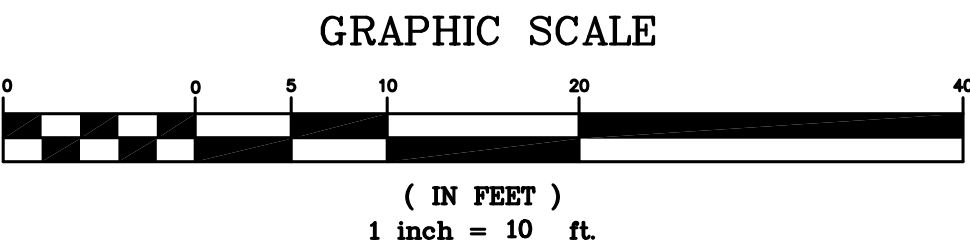
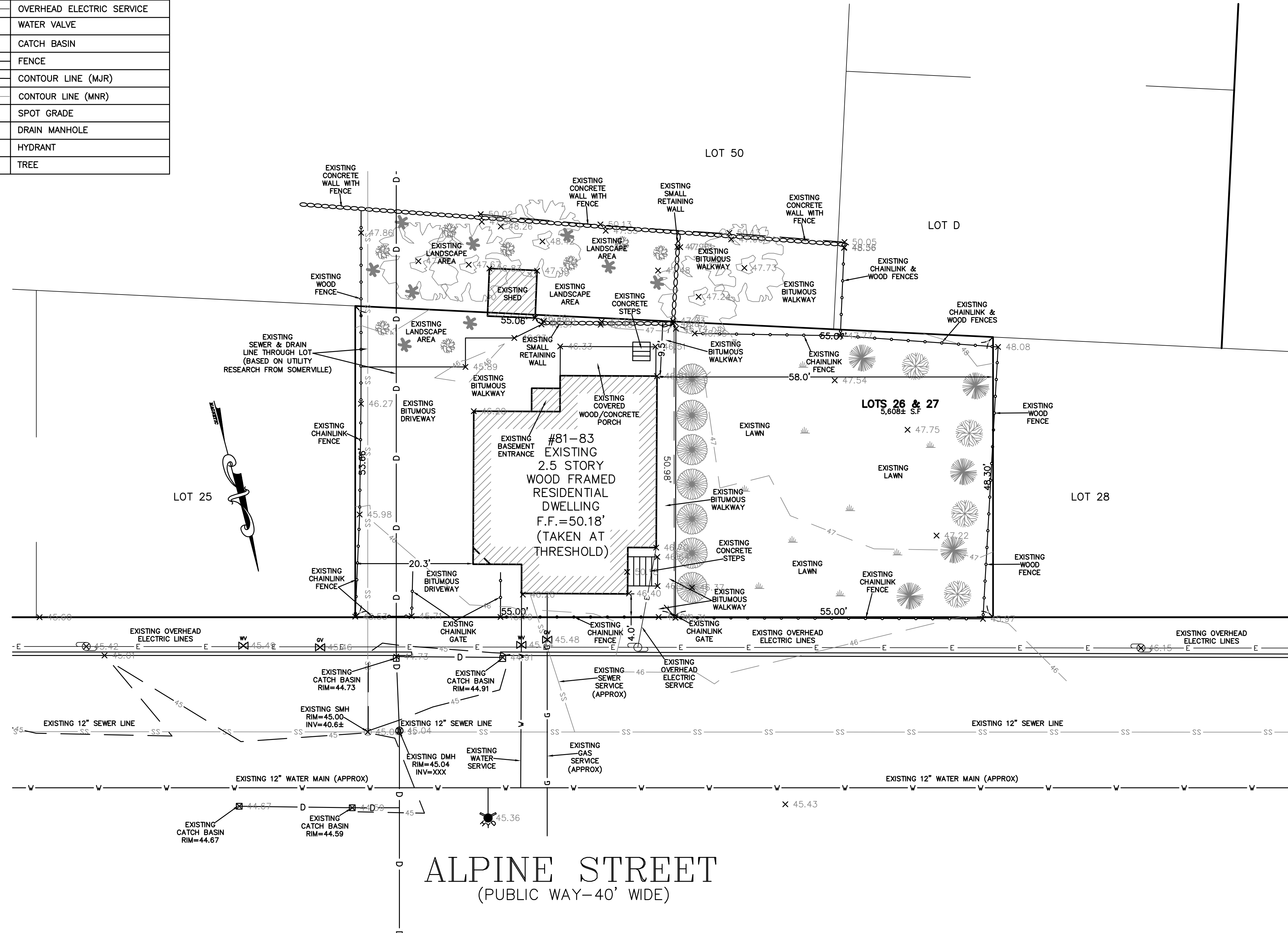
ARCHITECT
KHALSA DESIGN INC.
ADDRESS:
17 IVALOO STREET, SUITE 400
SOMERVILLE, MA 02143

CLIENT
ELAN SASSOON

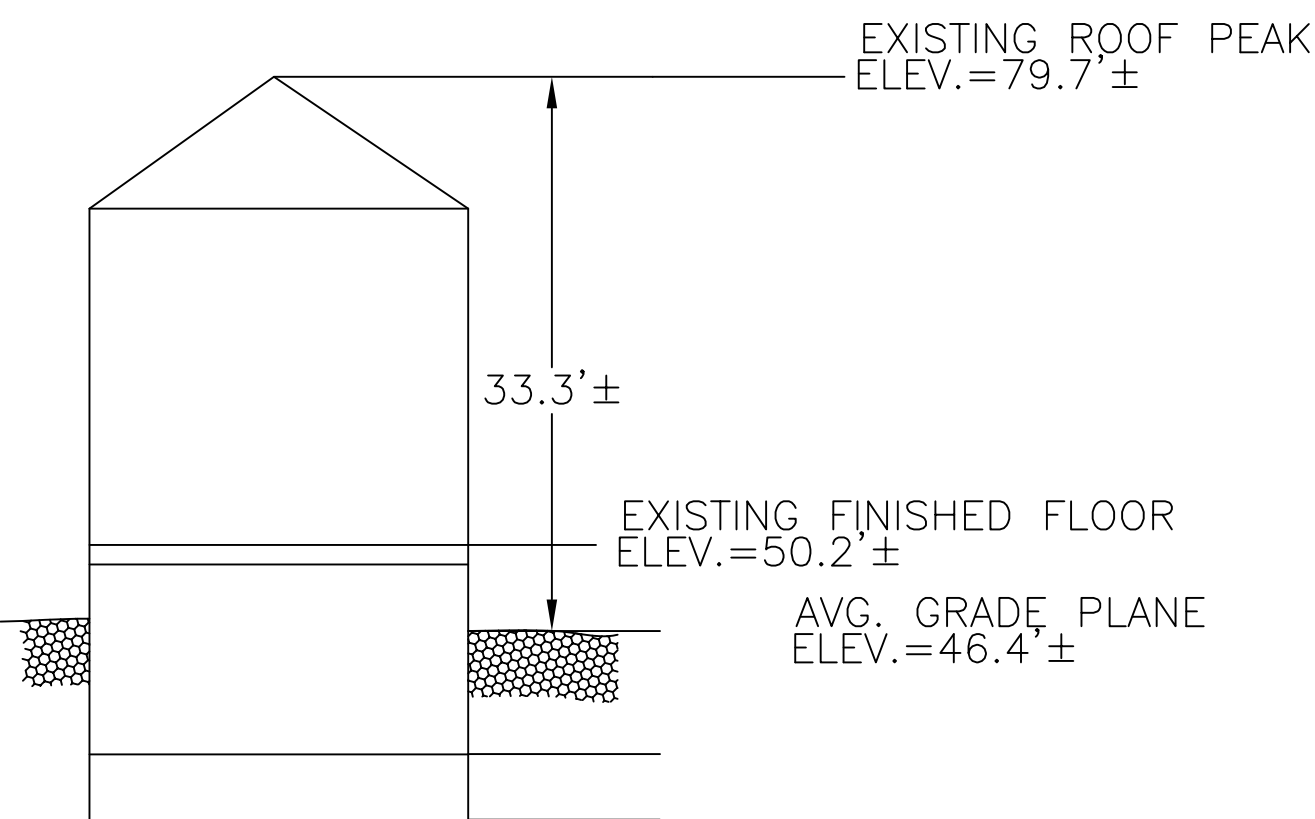
CIVIL ENGINEER
PETER NOLAN & ASSOCIATES
ADDRESS:
697 CAMBRIDGE STREET, SUITE 103
BRIGHTON, MA 02135

SD SET
05/23/2019

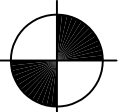
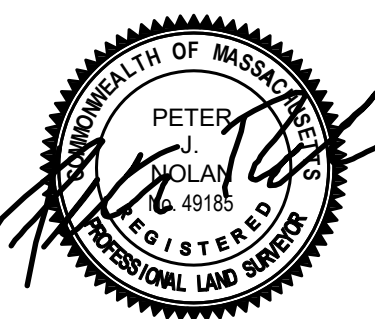
EXISTING LEGEND	
SS	SEWER LINE
⊙	SEWER MANHOLE
—V—	WATER LINE
—G—	GAS LINE
⊙	UTILITY POLE
⊗	GAS VALVE
—E—	OVERHEAD ELECTRIC SERVICE
⊗	WATER VALVE
□	CATCH BASIN
—○—	FENCE
205	CONTOUR LINE (MJR)
195	CONTOUR LINE (MNR)
X	SPOT GRADE
⊙	DRAIN MANHOLE
⊗	HYDRANT
⊗	TREE

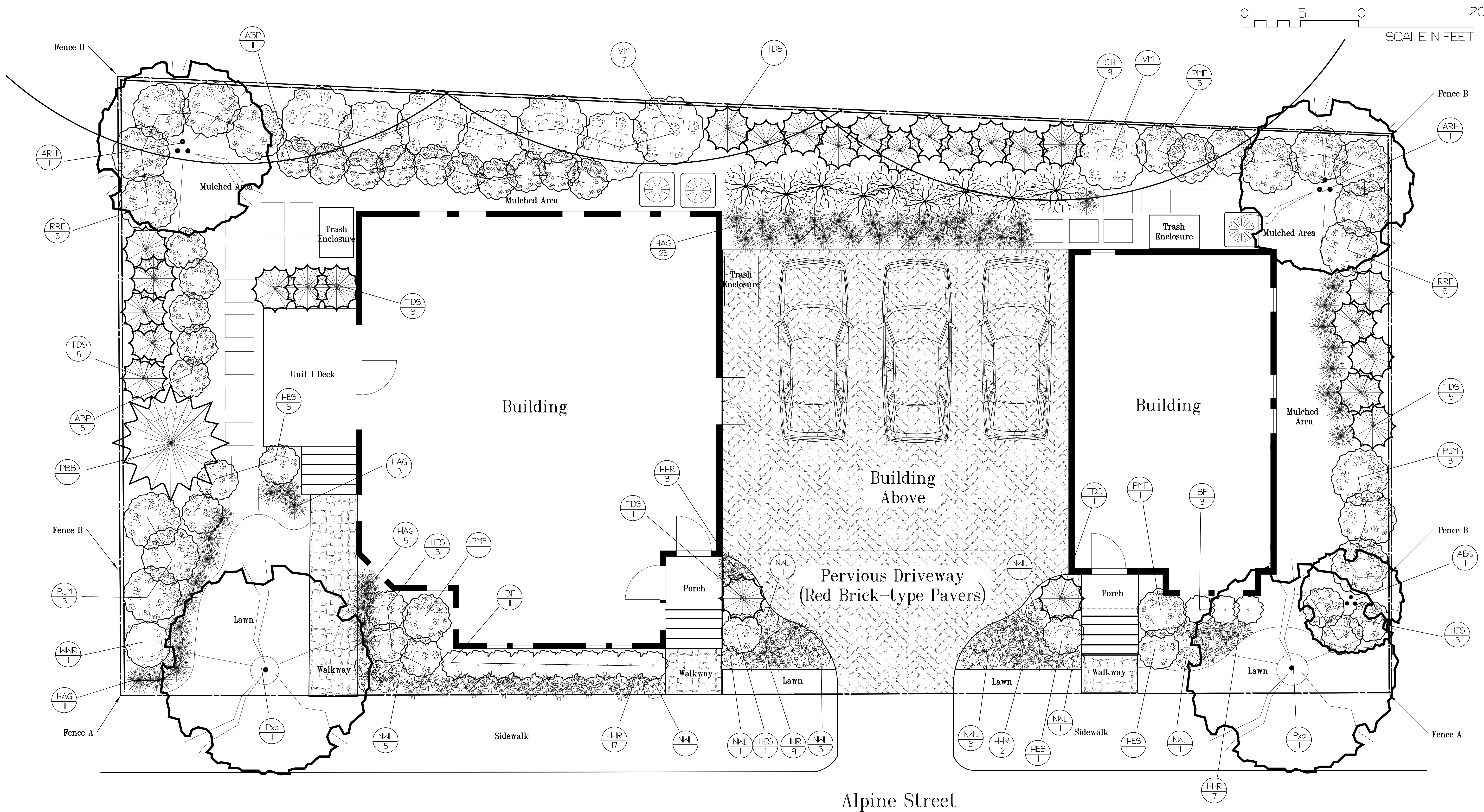


- NOTES:
1. INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED BY PETER NOLAN & ASSOCIATES LLC AS OF 10/3/2018.
 2. DEED REFERENCE BOOK 61807 PAGE 300
PLAN REFERENCE PLAN BOOK 97 PLAN 40
MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
 3. THIS PLAN IS NOT INTENDED TO BE RECORDED.
 4. I CERTIFY THAT THE DWELLING SHOWN IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE X, ON FLOOD HAZARD BOUNDARY MAP NUMBER 25017C0438E, PANEL NUMBER 0438E, COMMUNITY NUMBER: 250214, DATED JUNE 4, 2010.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT USES OF THE LAND; HOWEVER THIS NOT CONSTITUTE A GUARANTEE THAN NO SUCH EASEMENTS EXIST.
 6. FIRST FLOOR ELEVATIONS ARE TAKEN AT THRESHOLD.
 7. NO RESPONSIBILITY IS TAKEN FOR ZONING TABLE AS PETER NOLAN & ASSOCIATES LLC ARE NOT ZONING EXPERTS. TABLE IS TAKEN FROM TABLE PROVIDED BY LOCAL ZONING ORDINANCE. CLIENT AND/OR ARCHITECT TO VERIFY THE ACCURACY OF ZONING ANALYSIS.
 8. ZONING DISTRICT = R.B. RESIDENCE B



EXISTING PROFILE
NOT TO SCALE

SCALE 1"=10'					
DATE 10/4/2018	REV	DATE	REVISION		BY
SHEET 1	81-83 ALPINE STREET SOMERVILLE MASSACHUSETTS				
PLAN NO. 1 OF 1	EXISTING CONDITIONS SITE PLAN				
CLIENT:					
DRAWN BY					
CHKD BY P.J.N.	 <div>PETER NOLAN & ASSOCIATES LLC LAND SURVEYORS/CIVIL ENGINEERING CONSULTANTS 697 CAMBRIDGE STREET, SUITE 103 BRIGHTON MA 02135 PHONE: 857 891 7478/617 782 1533 FAX: 617 202 5691 EMAIL: pnolan@pnasurveyors.com</div>				
APPD BY P.J.N.					
					
					SHEET NO. <div>1</div>



HAG - Hachonechloa 'All Gold'



Pxa - Platanus x acerifolia



WNR - Weigela 'Wine and Roses'



PJM - Rhododendron 'PJM'



PBB - Picea 'Baby Blue'



HES - Hydrangea 'Endless Summer'



PMF - Pieris 'Mountain Fire'



BF - Buxus fastigiata hedge



NNL - Nepeta 'Walker's Low'



HHR - Hemerocallis 'Happy Returns'



ABP - Azalea 'Blaauw Pink'



TDS - Thuja 'Degroot Spire'



RRE - Rhododendron 'Roseum Elleganse'



ARH - Amelanchier 'Robin Hill'



VM - Viburnum 'Mariesii'



CH - Cornus 'Ivory Halo'



ABG - Acer p. 'Bloodgood'



Wooden Fence - A @ 4' H, B @ 6' H

New Proposed Landscape Plan

81-83 Alpine Street, Somerville, MA

SCALE 1" = 4'-0"

DATE 05/23/2019

DRAWING # LP - 10

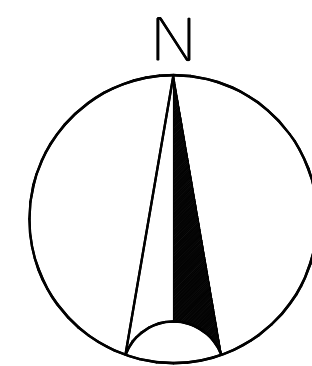
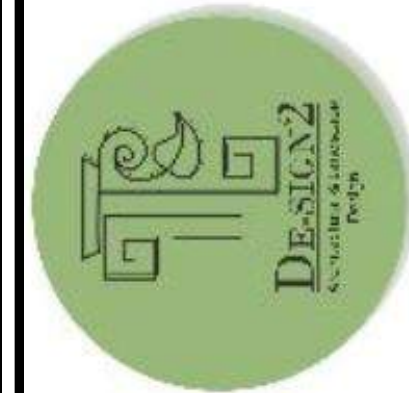
De-sign2

Drawn by:

Sasha Pilyavskiy M.A.L.D

617-913-4395

sashap.design2@gmail.com



NORTH

ZONING CHART - SOMERVILLE					
RB ZONE	REQUIRED		EXISTING	PROPOSED	REMARKS
MIN. LOT SIZE	7,500 SF		5,608 +/- SF	5,608 +/- SF	DOES NOT COMPLY/ PRE-EXISTING
LOT AREA/DU 1-2DU	1,500 SF /DU 5,608 SF LOT/ 1,500 SF = 3 DU ALLOWED		2DU = 2,804 SF/DU	3DU = 1,869 SF/DU	COMPLIES
FAR	1.0 (5,608 SF)		0.47 (2,614 SF)	0.88 (4,911 SF)	COMPLIES
MAX GROUND COVER	50% (2,804 SF)		20% (1,148 SF)	0.46 (2,593 SF)	COMPLIES
LANDSCAPE AREA	25% (1,402 SF)		52% (2,956 SF)	47% (2,673 SF)	COMPLIES
PERMEABLE AREA	35% (1,963 SF)		52% (2,956 SF)	53% (3,019 SF)	COMPLOES
MAX HEIGHT	40'-0" / 3 ST		29'-2 1/2" / 2 1/2 ST	29'-2 1/2" / 3 ST	COMPLIES
FRONT SETBACK	15' OR STREET AVERAGE = 10'-0" MIN.		4.0'	4.0'	DOES NOT COMPLY/ PRE-EXISTING
LEFT SIDE SETBACK	MIN SIDE SB=10'-0" MIN LSB+RSB=20'-0"		20.3'	12'-5 1/2"	COMPLIES
RIGHT SIDE SETBACK			58.0'	10'-0"	COMPLIES
REAR SETBACK	10'-0" (Footnote 13) 100'-54'= 46' x 3'≈ 11.5', 20'-11.5= 8.5', MIN.= 10'		4.44'	9.23'	DOES NOT COMPLY/ PRE-EXISTING
FRONTAGE	50'		110'	110'	COMPLIES
PARKING	EXISTING	PROPOSED	2 SPACES	3 SPACES	DOES NOT COMPLY
	UNIT 1 - 1 BR 1.5 SPACE REQ.	UNIT 1 - 3 BR 2 SPACES REQ.			
	UNIT 2 - 3 BR 2 SPACE REQ.	UNIT 2 - 3 BR 2 SPACES REQ.			
	3.5 SPACES REQ.	UNIT 3 - 3 BR 2 SPACES REQ. 6 SPACES REQ.			

DEFINITIONS
2.2.14. Basement. A story with at least forty (40) percent of its height below finished grade. However, for purposes of determining compliance to the height limit requirements of this Ordinance, a basement shall not be considered a story unless its ceiling is five (5) feet or more above the average finished grade abutting the building.

2.2.63. Grade, Finished. For purposes of this Ordinance, unless specifically defined elsewhere in this Ordinance, finished grade shall be the elevation of the reference plane representing the average finished ground line adjoining a building at all the exterior walls. When the finished ground level slopes away from the exterior walls, the reference plane shall be established by the lowest point within the area between the building and the lot line or, when the lot line is more than fifteen (15) feet from the building, between the building and a point fifteen (15) feet from the building. Average finished grade of a parcel with more than one (1) building located thereon shall be the average of all the individual finished grades calculated for each building located on said parcel.

2.2.66. Height of Building. The vertical distance measured from the finished grade adjoining an exterior wall of a building to the highest point of roof beams of the top story in the case of a flat roof, to the deck line of a mansard roof, and to the average height between the plate and ridge of a gable, hip or gambrel roof.

2.2.154. Story, First. The lowest story, of which sixty (60) percent of the distance from the floor to the floor next above is above the abutting grade.

2.2.155. Story, Half. A story directly under a sloping roof where, in the case of a roof having one (1) uniform degree of pitch (such as in gable or shed roof types) the points of intersection of the bottom of the rafters and the interior faces of the exterior walls are less than two (2) feet above the floor level on at least two (2) opposite exterior walls or, in the case of a roof having two (2) or more pitches on each of two (2) or more sides (such as gambrel or mansard roof types), the average finished floor to finished ceiling height is less than six (6) feet. Dormers may be constructed on the roof and exterior walls provided they are structurally supported on the roof rafters and the length of the dormer(s) as measured between the lowest bearing points of the dormer(s) on the rafters of the sloping roof does not exceed fifty (50) percent of the length of the sloping roof to which it is attached.

FOOTNOTES
11. Garages and accessory structures in residential districts: In any residence district, garages and other permitted accessory buildings shall not exceed fifteen (15) feet in height, but may extend within any side or rear yard up to but not closer than three (3) feet from any side or rear lot line, unless of fireproof construction. Arbors, hoop houses and cold frames may also extend within any front yard up to but not closer than one (1) foot from the lot line (also see § 7.12.27). Replacement of pre-existing arbors not changing existing setbacks shall be permitted. However, where a Historic Carriage House is converted to principal use as part of a Historic Bed & Breakfast or a Historic Carriage House Occupation, and preexisting dimensions would be nonconforming for a principal structure, no additional zoning relief shall be required.

13. Reduction of rear yards for shallow lots: For each foot by which a lot is less than one hundred (100) feet deep on the effective date of this Ordinance, three (3) inches may be deducted from the required depth of the rear yard, provided that no rear yard shall be less than ten (10) feet.



Area Schedule (FAR Existing)	
Level	Area
1st Floor Level	956 SF
2nd Floor Level	927 SF
3rd Floor Level	731 SF
Grand total	2614 SF

Area Schedule (FAR Proposed)	
Level	Area
1st Floor Level	463 SF
1st Floor Level	955 SF
2nd Floor Level	2147 SF
3rd Floor Level	1345 SF
Grand total	4911 SF

ZONING PLAN LEGEND

EXISTING FOOTPRINT

PROPOSED ADDITION

LANDSCAPE

PAVERS

REQUIRED SETBACKS

NOTE:
This plan is for informational and illustrative purposes only. The preparer of this plan makes no claim to its accuracy. This plan shall not be used or relied upon in any circumstance. A certified Land Surveyor shall provide an official certified plot plan.

PROJECT NAME

81-83 Alpine St.
Residences

PROJECT ADDRESS

81-83 Alpine Street
Somerville, MA 02144

CLIENT

Elan Sassoon

ARCHITECT

DESIGN

KHALSA

17 IVALOO STREET SUITE 400
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REGISTRATION

REGISTERED ARCHITECT

NO. 663

CAMBRIDGE

MA

WEALTH OF MASSACHUSETTS

Project number	19016
Date	05/23/2019
Drawn by	Author
Checked by	Checker
Scale	As indicated

REVISIONS		
No.	Description	Date

Architectural Site
Plan

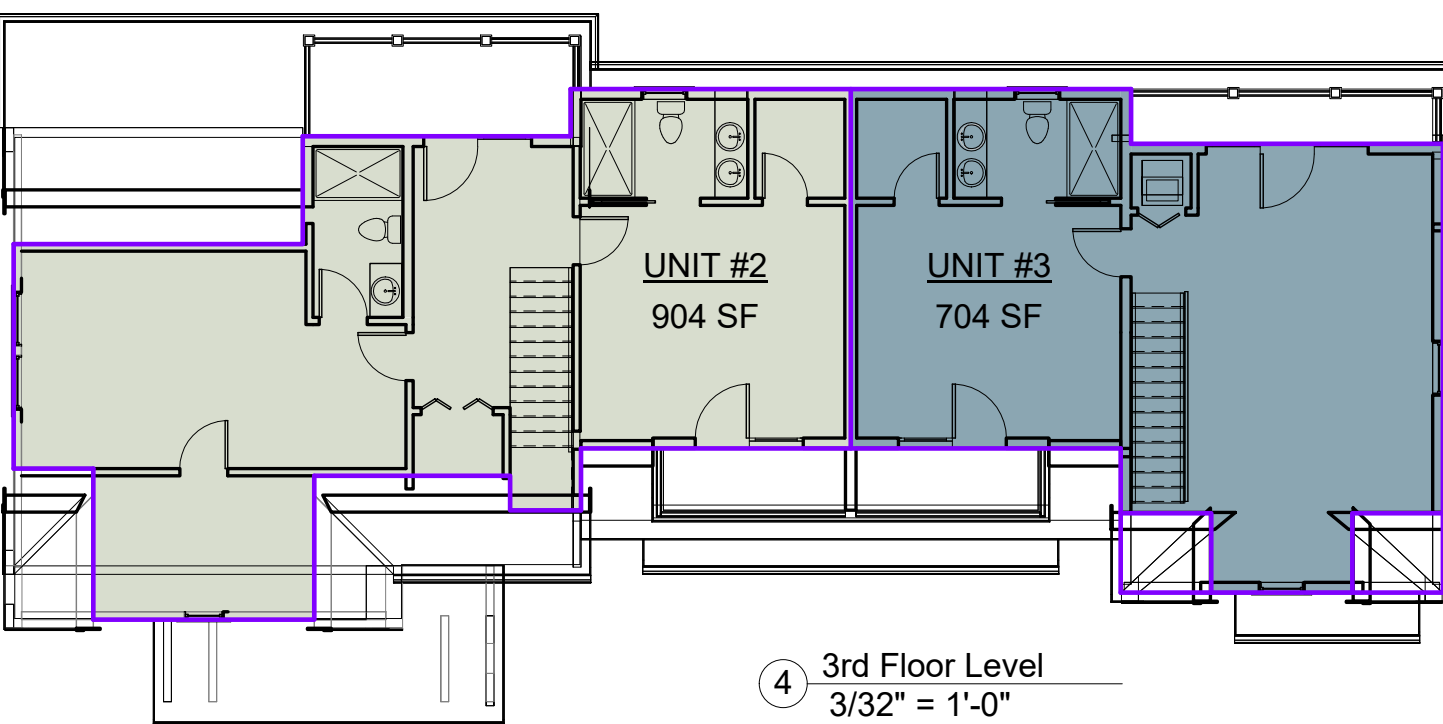
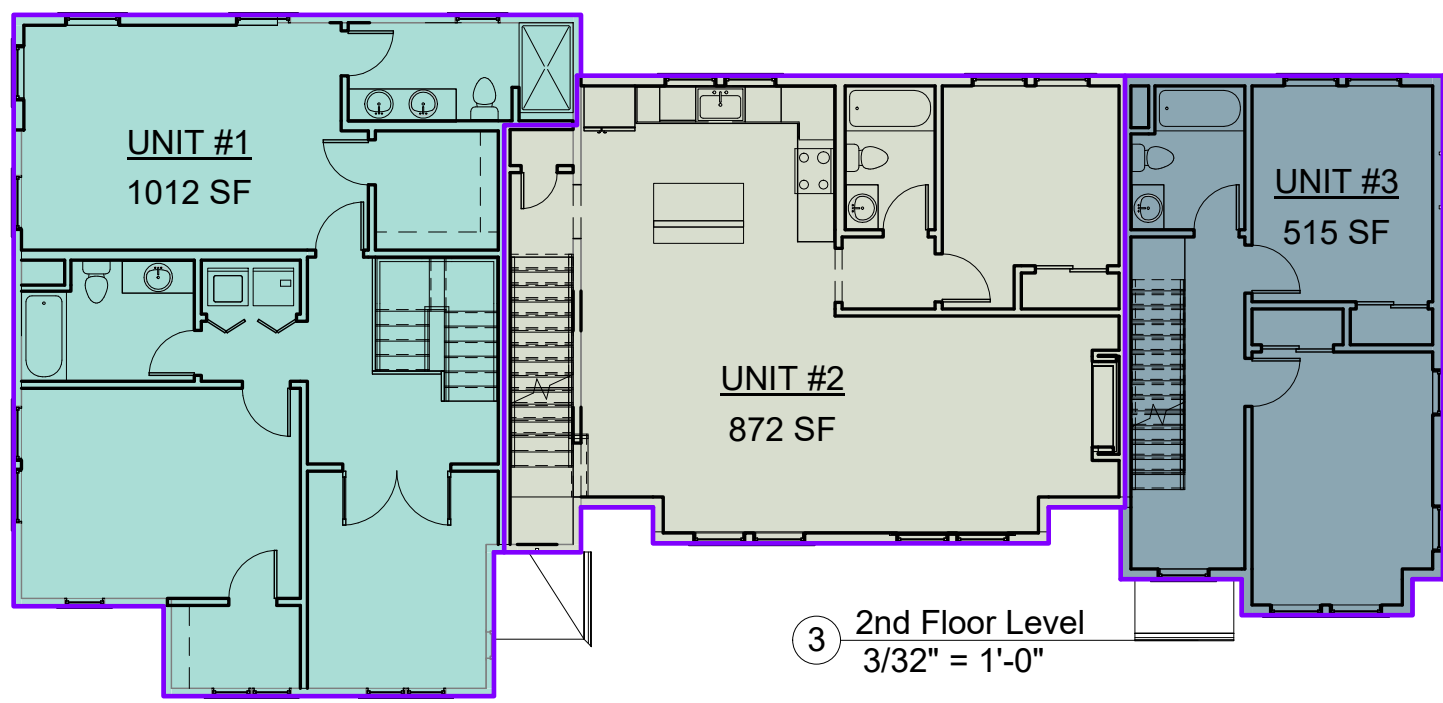
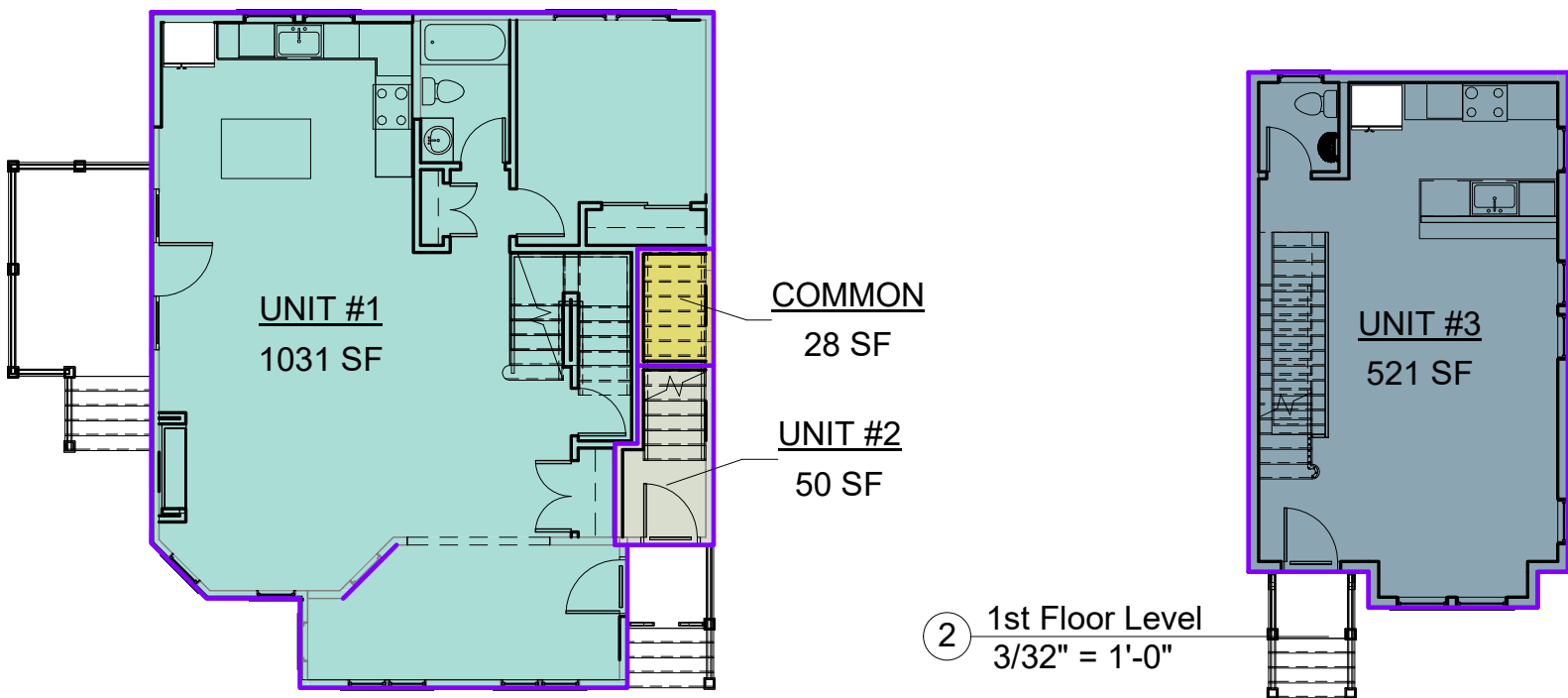
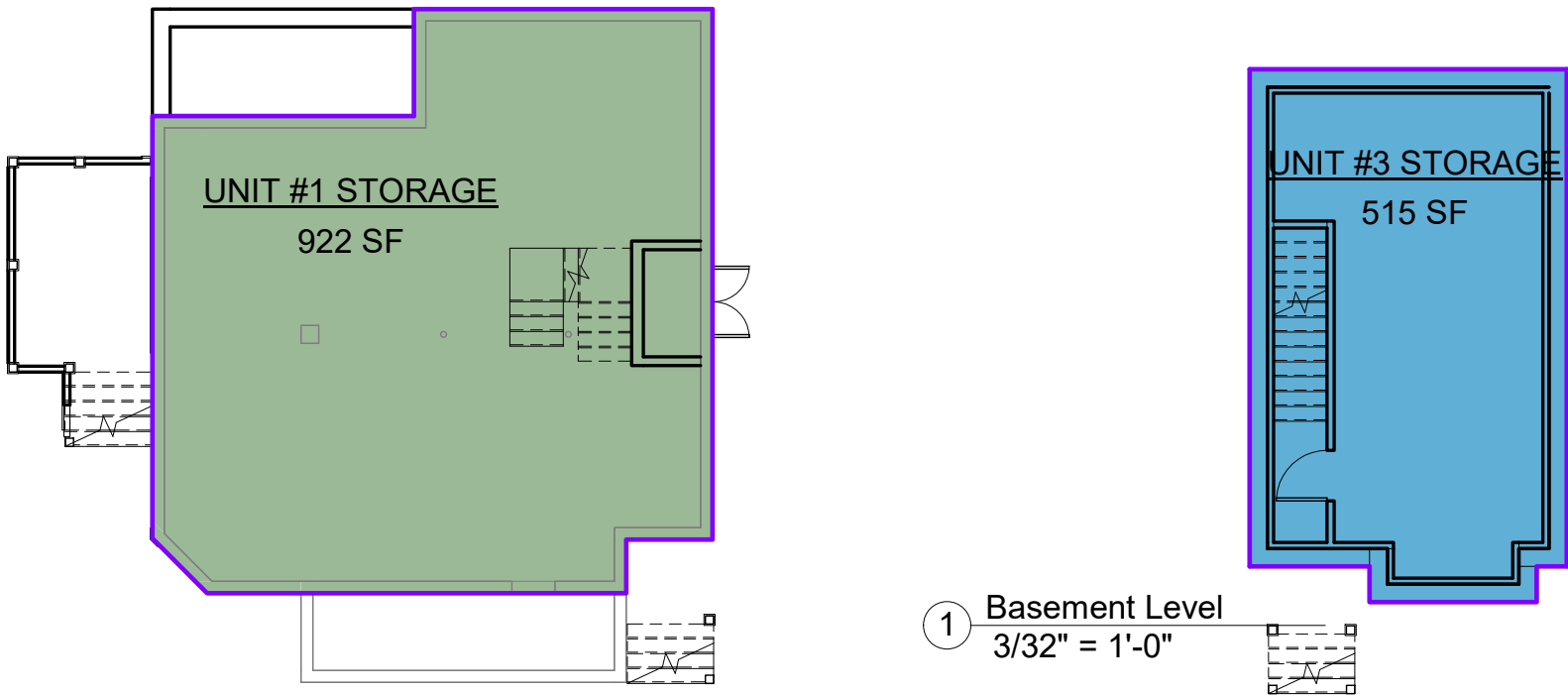
A-020

81-83 Alpine St. Residences

UNIT AREAS

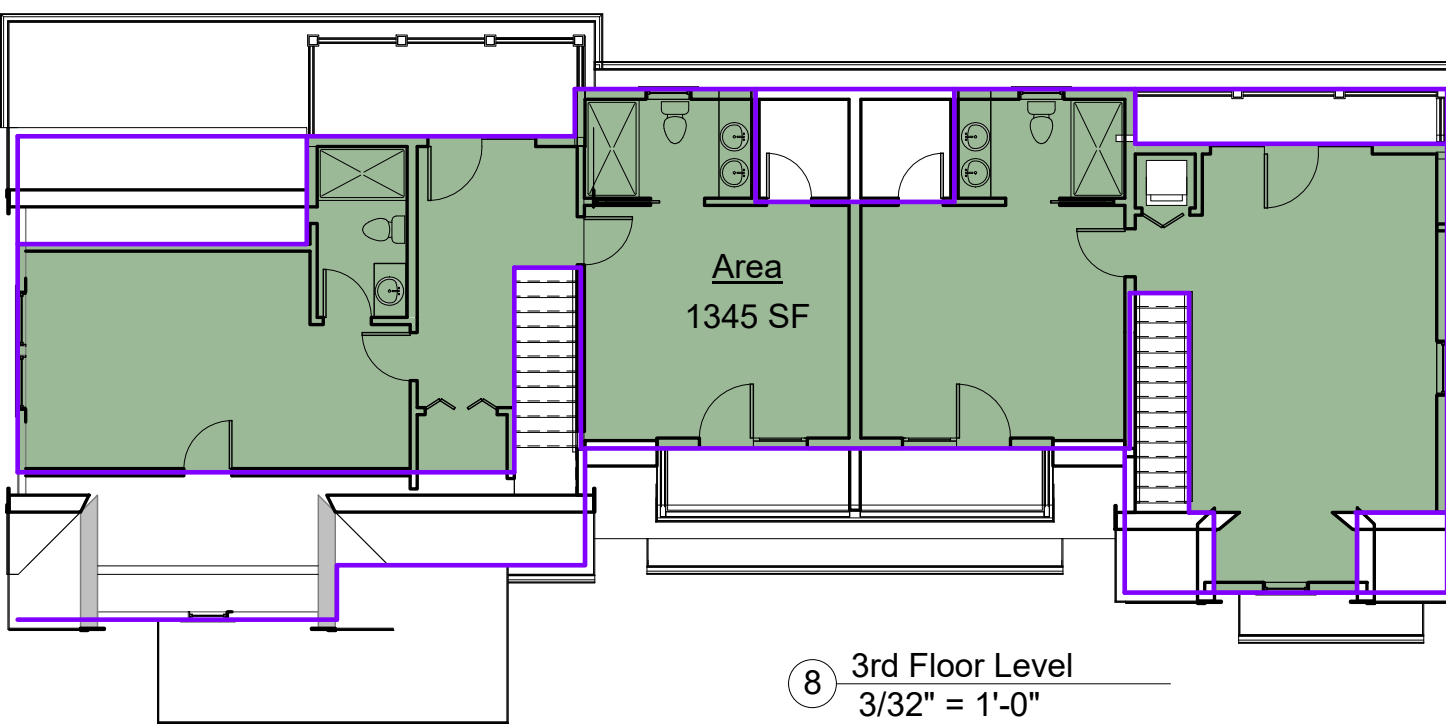
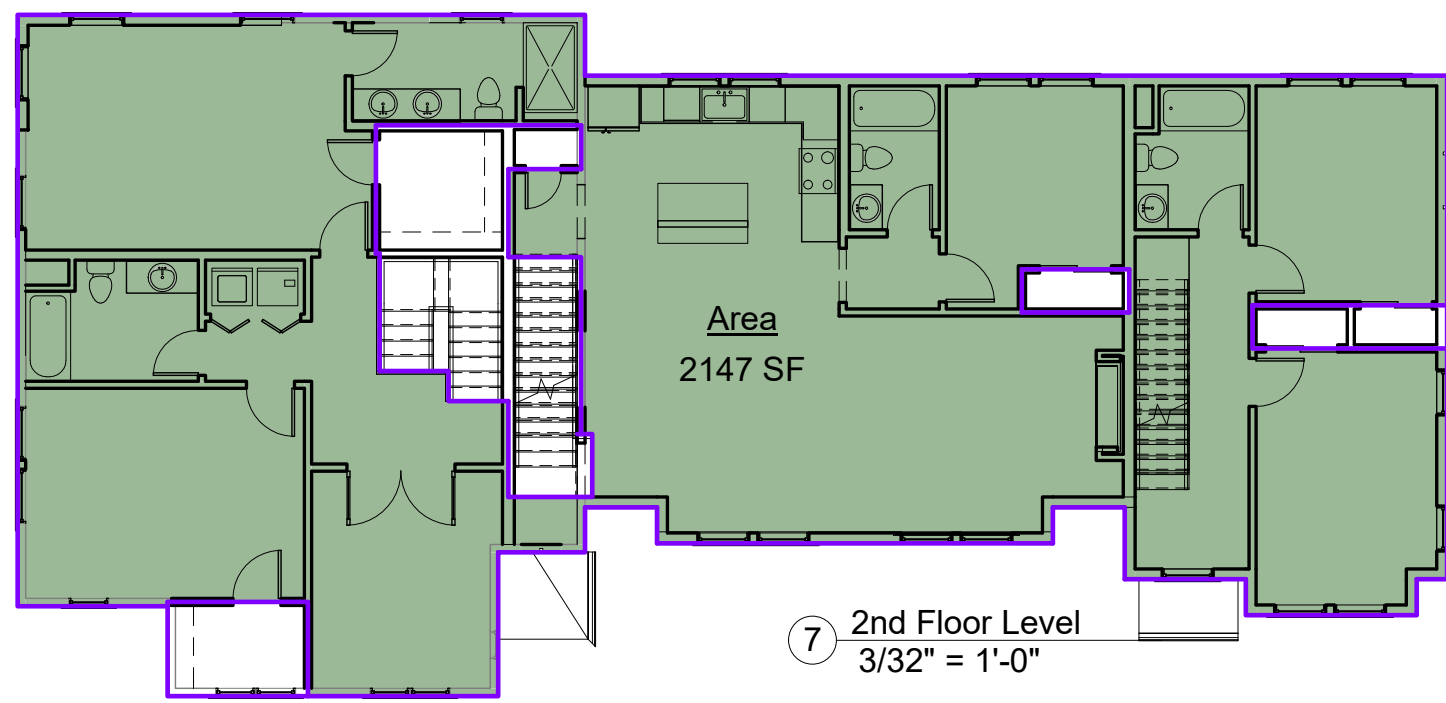
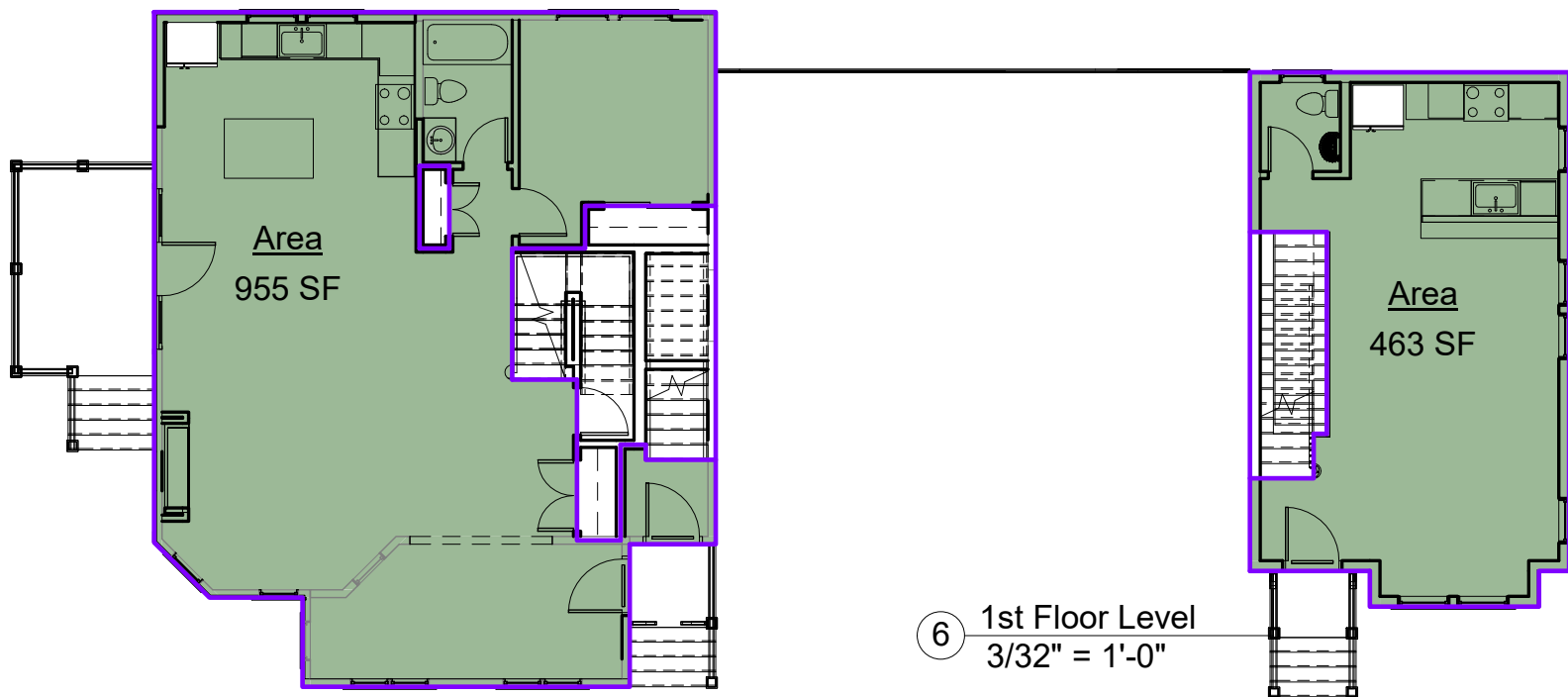
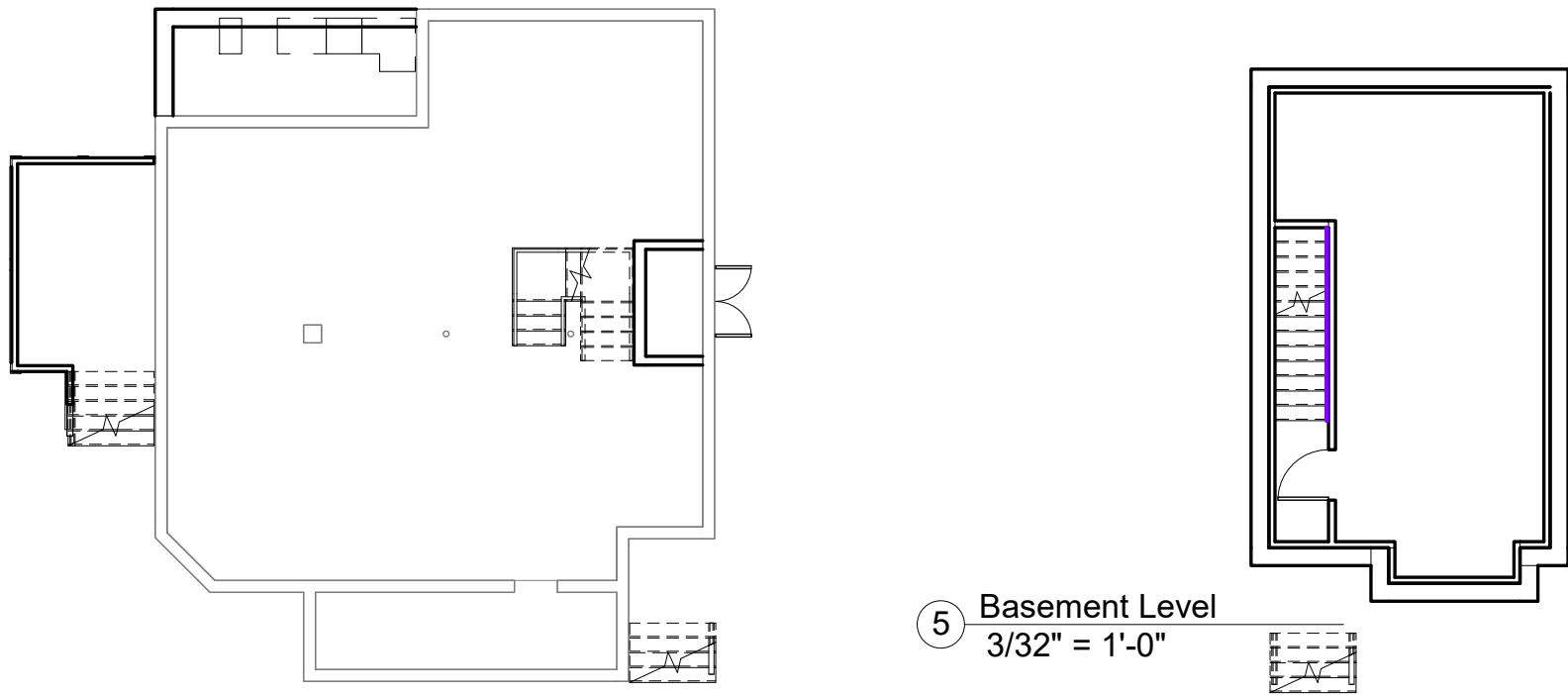
Area Schedule (Rentable)		
Name	Level	Area
COMMON	1st Floor Level	28 SF
COMMON		28 SF
UNIT #1	1st Floor Level	1031 SF
UNIT #1	2nd Floor Level	1012 SF
UNIT #1		2044 SF
UNIT #1 STORAGE	Basement Level	922 SF
UNIT #1 STORAGE		922 SF

Area Schedule (Rentable)		
Name	Level	Area
UNIT #2	1st Floor Level	50 SF
UNIT #2	2nd Floor Level	872 SF
UNIT #2	3rd Floor Level	904 SF
UNIT #2		1826 SF
UNIT #3	1st Floor Level	521 SF
UNIT #3	2nd Floor Level	515 SF
UNIT #3	3rd Floor Level	704 SF
UNIT #3		1740 SF
UNIT #3 STORAGE	Basement Level	515 SF
UNIT #3 STORAGE		515 SF
Grand total		7074 SF



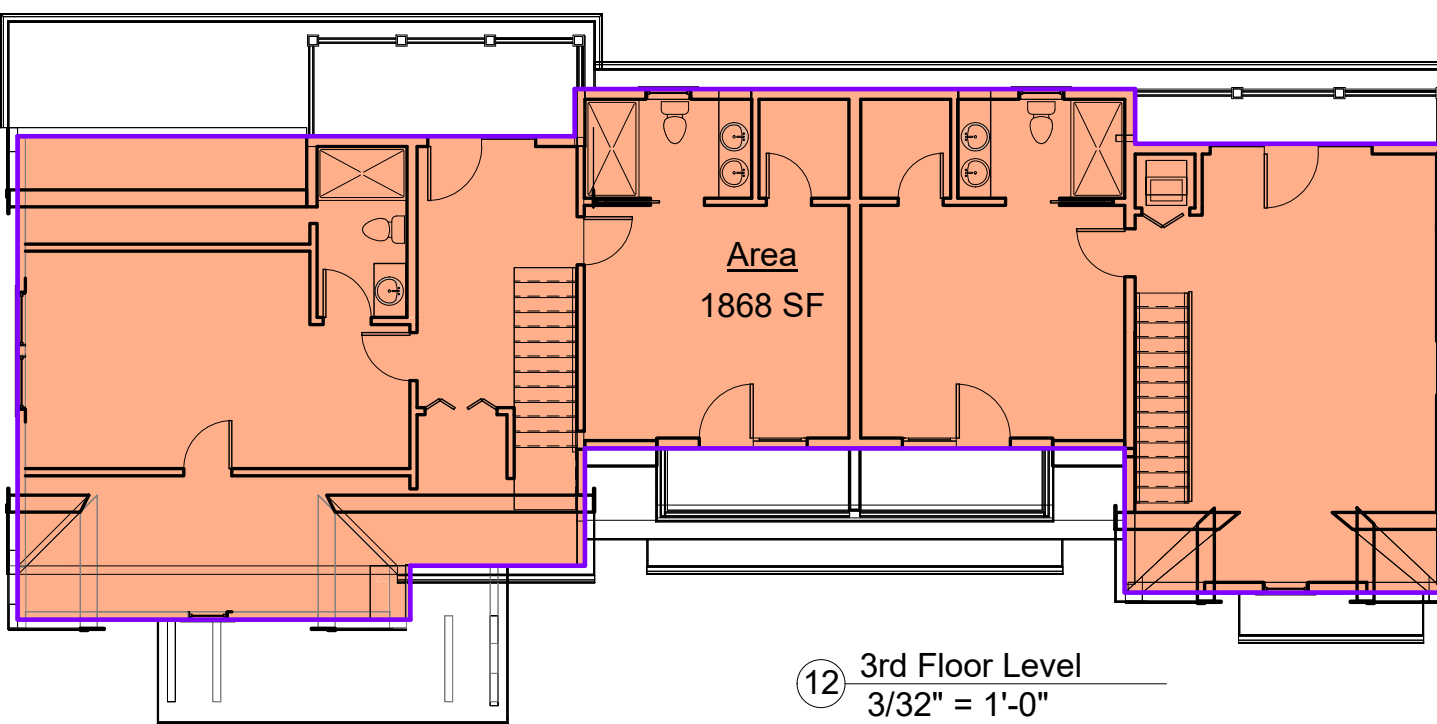
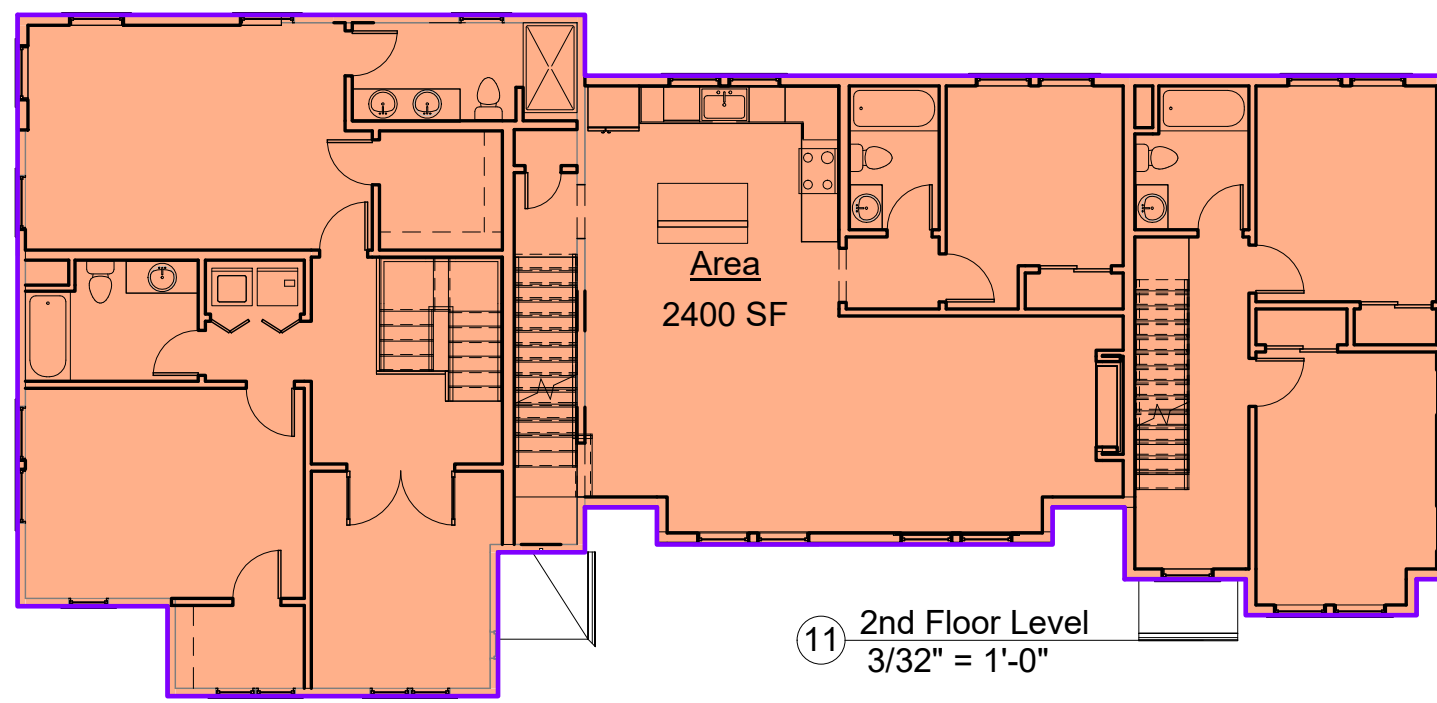
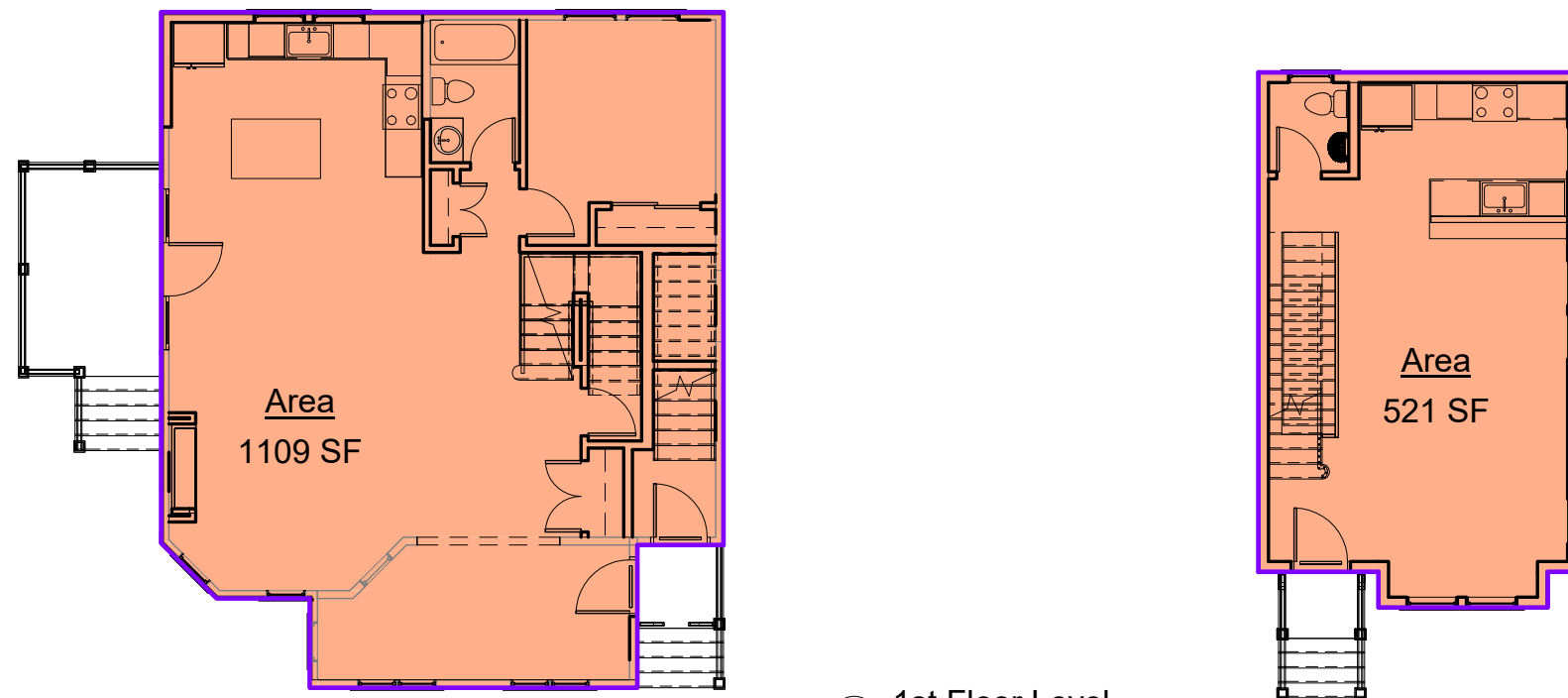
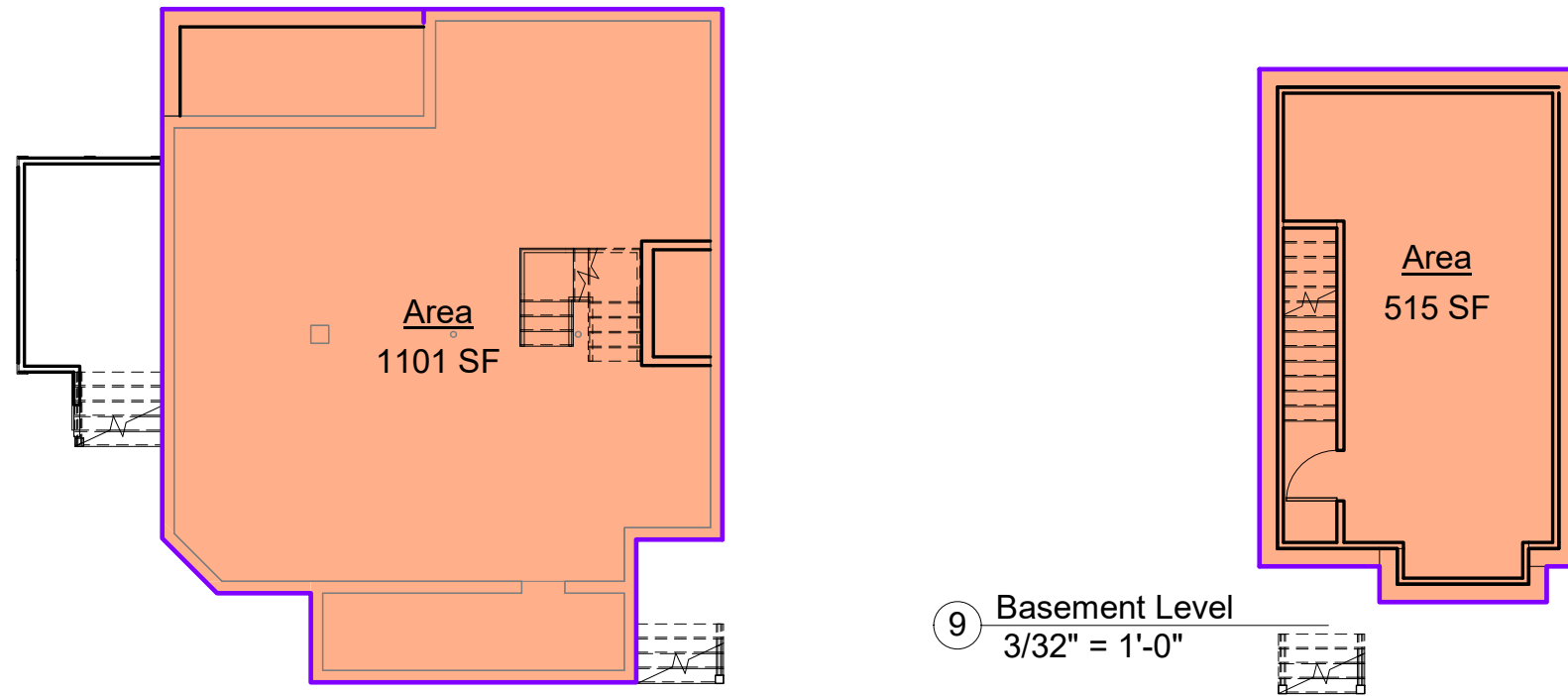
FAR FLOOR AREA

Area Schedule (FAR Proposed)	
Level	Area
1st Floor Level	463 SF
1st Floor Level	955 SF
2nd Floor Level	2147 SF
3rd Floor Level	1345 SF
Grand total	4911 SF



GROSS FLOOR AREA

Area Schedule (Gross Building)	
Level	Area
Basement Level	1616 SF
1st Floor Level	1630 SF
2nd Floor Level	2400 SF
3rd Floor Level	1868 SF
Grand total	7514 SF



PROJECT NAME
**81-83 Alpine St.
Residences**

PROJECT ADDRESS
**81-83 Alpine Street
Somerville, MA 02144**

CLIENT
Elan Sassoon

ARCHITECT

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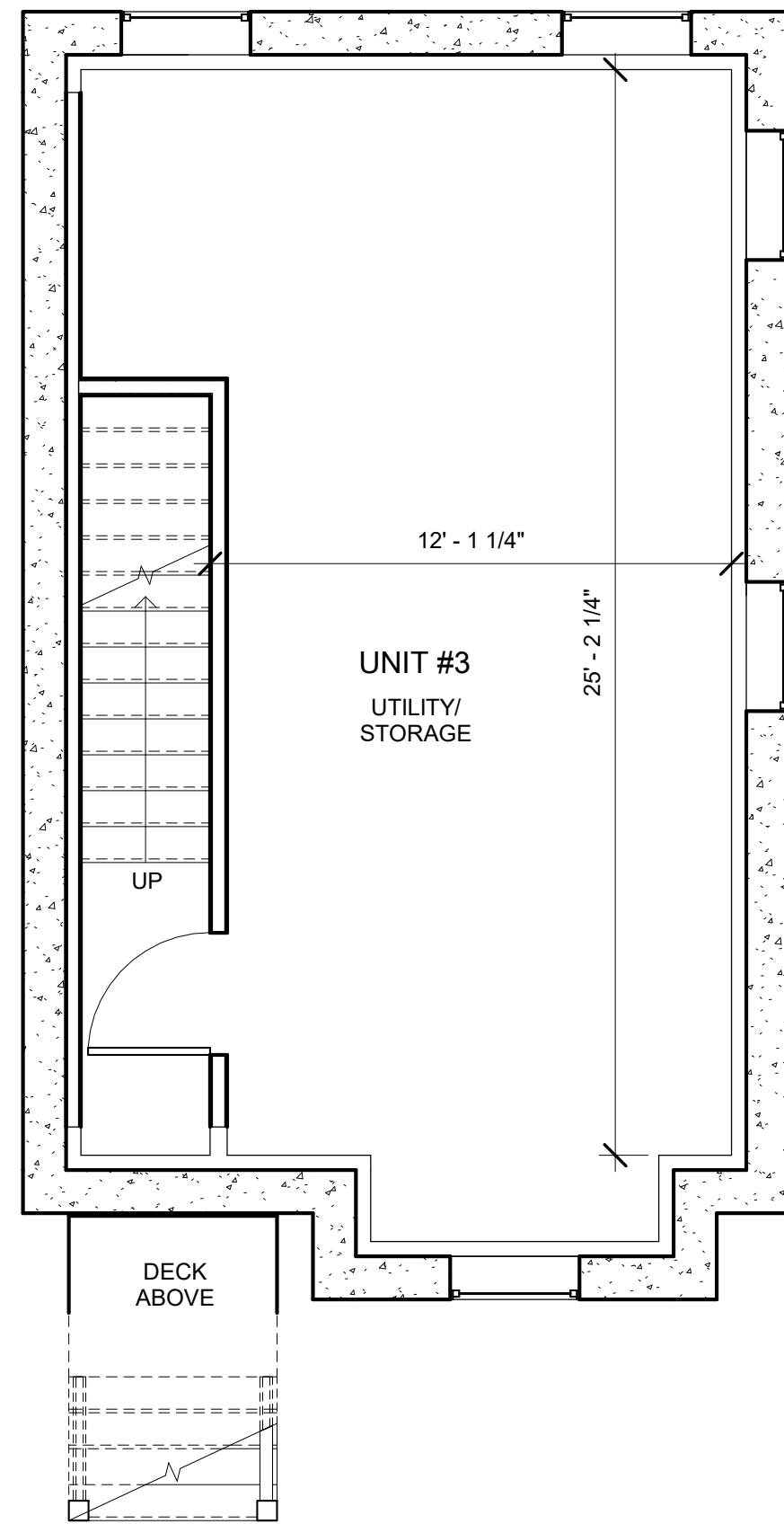
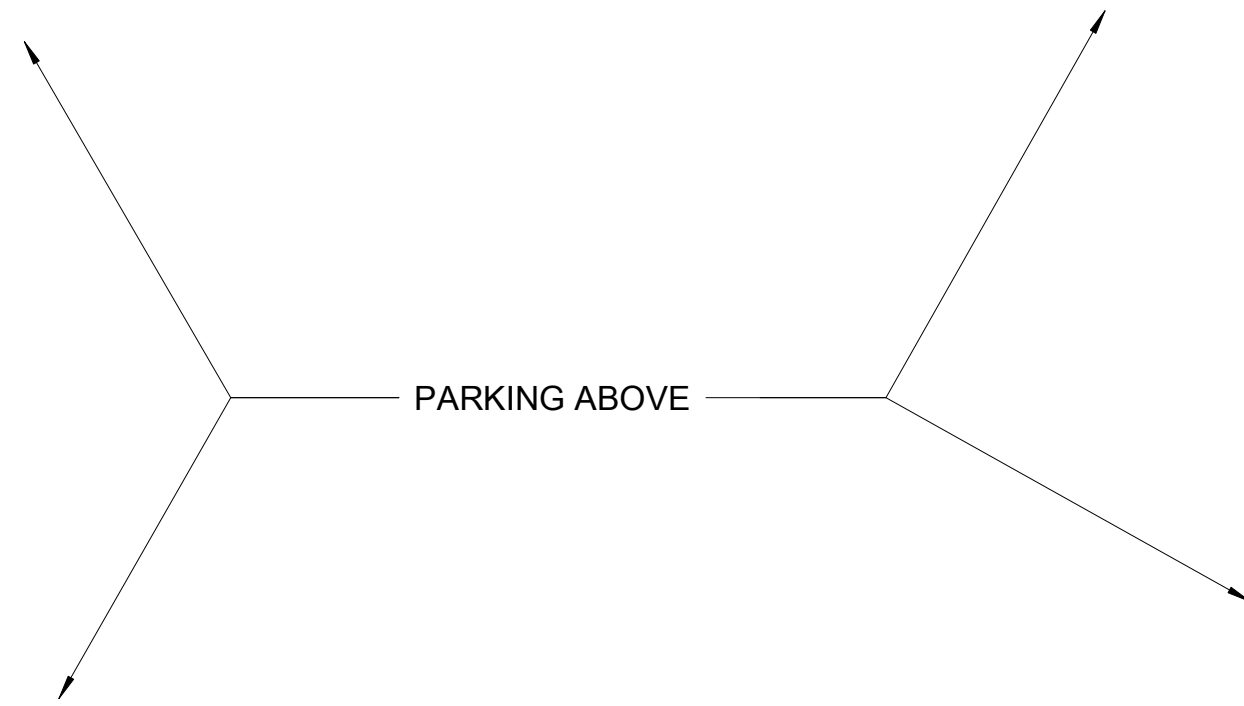
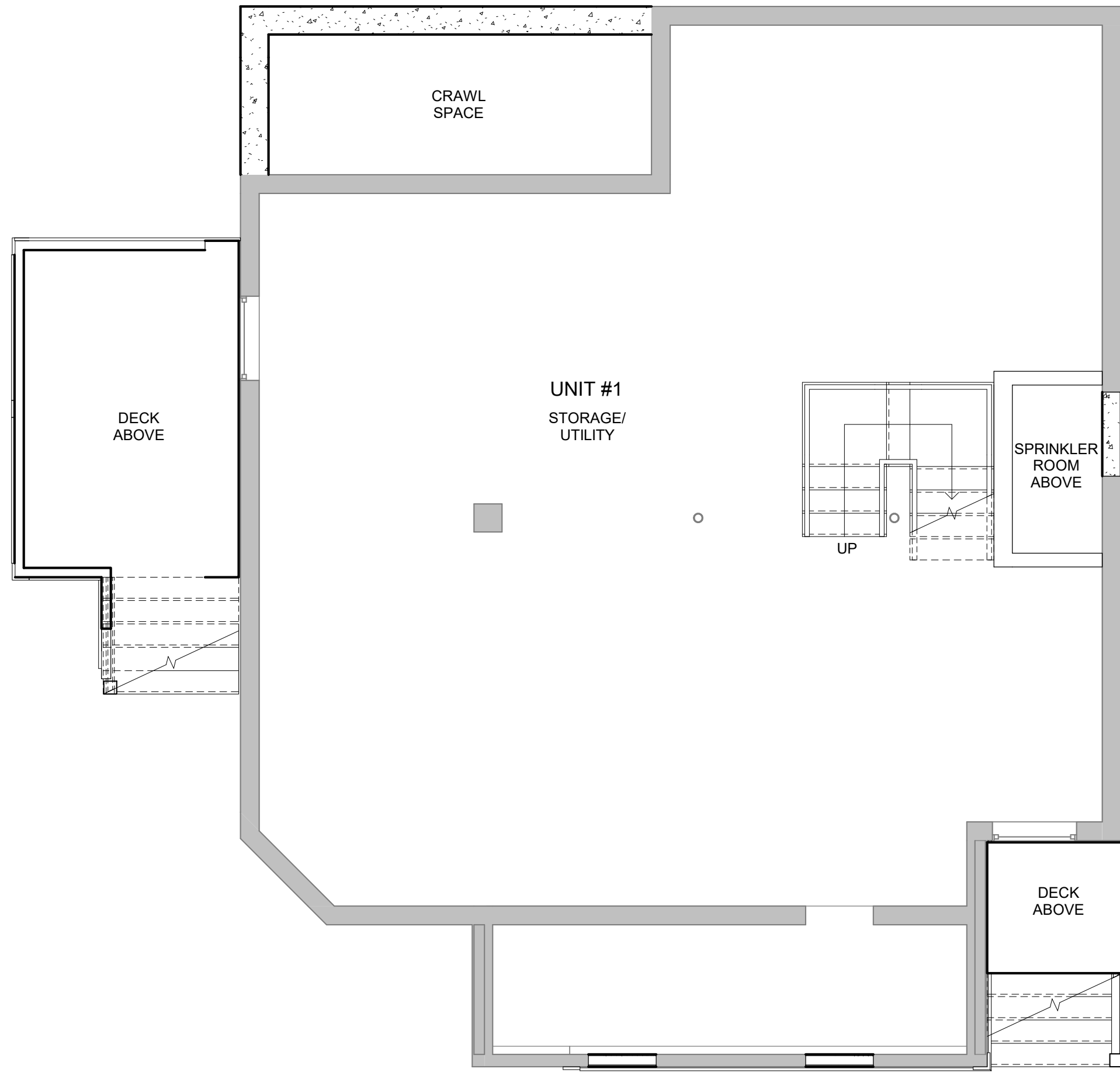
Project number	19016
Date	05/23/2019
Drawn by	Author
Checked by	Checker
Scale	3/32" = 1'-0"

No.	Description	Date

Area Plans

A-021

81-83 Alpine St. Residences



① Basement Level
1/4" = 1'-0"

PROJECT NAME

81-83 Alpine St.
Residences

PROJECT ADDRESS

81-83 Alpine Street
Somerville, MA 02144

CLIENT

Elan Sassoon

ARCHITECT



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Project number	19016
Date	05/23/2019
Drawn by	Author
Checked by	Checker
Scale	1/4" = 1'-0"

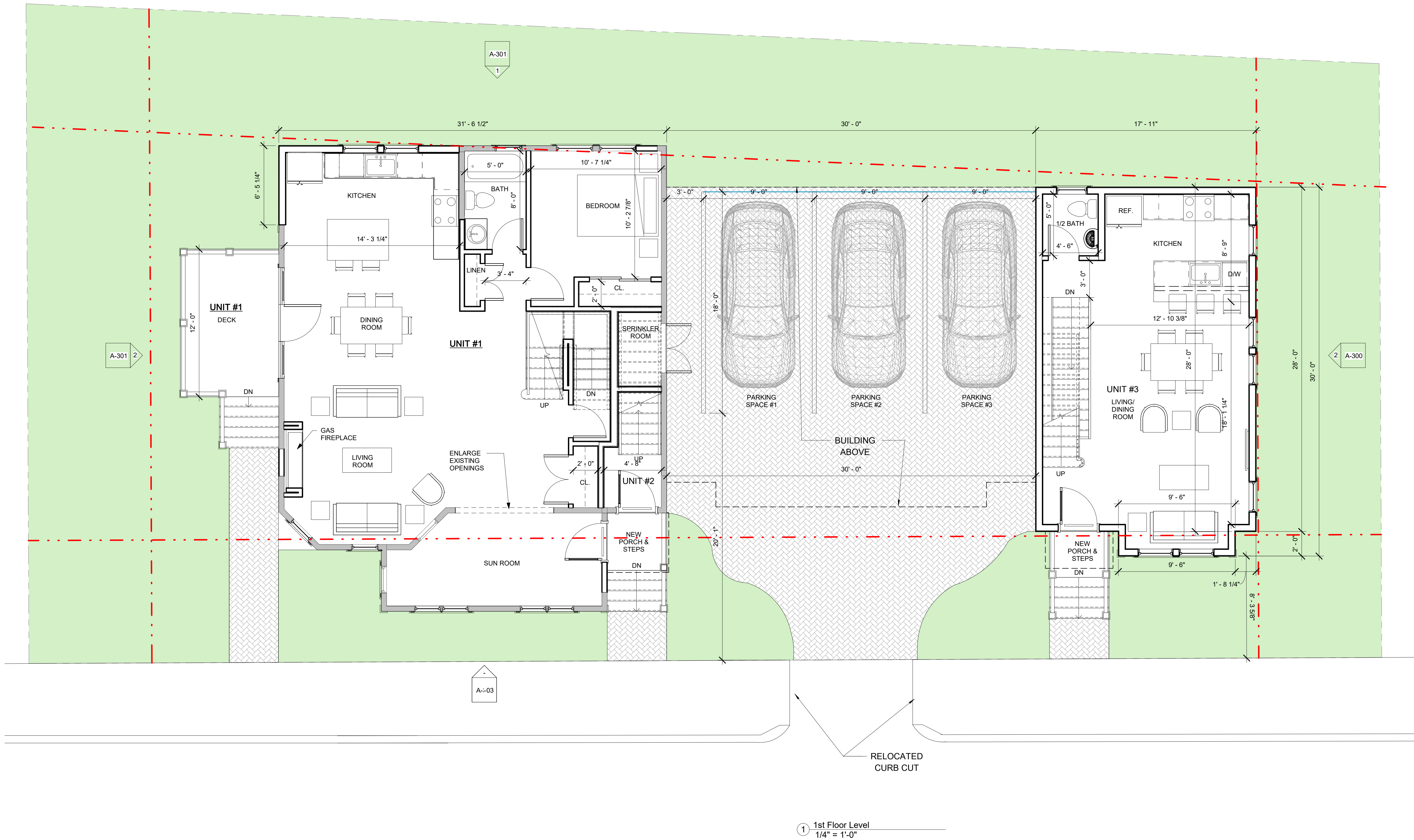
REVISIONS

No.	Description	Date

Basement Floor
Plan

A-100

81-83 Alpine St. Residences



PROJECT NAME
**81-83 Alpine St.
Residences**

PROJECT ADDRESS
81-83 Alpine Street
Somerville, MA 02144

CLIENT
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Project number 19016
Date 05/23/2019
Drawn by MG
Checked by JSK
Scale 1/4" = 1'-0"

REVISIONS		
No.	Description	Date

1st Floor Plan

81-83 Alpine St. Residences

81-83 Alpine Street
Somerville, MA 02144

Elan Sassoon



KHALSA

CONSULTANTS:

[illegible]

A-102

① 2nd Floor Level
1/4" = 1'-0"

81-83 Alpine St. Residences

81-83 Alpine Street
Somerville, MA 02144

Elan Sassoon



KHALSA

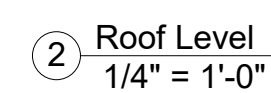
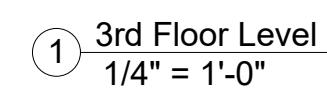
CONSULTANTS:

[illegible]

A-103

\\TKG-SERVER\Data\19\19016-Sasoon-81 Alpine st-15-Jake-111 summer\03 Drawings\00_ARCH_SD_DD\19016_81 Alpine St_SD4.rvt

5/23/2019 3:47:05 PM



81-83 Alpine St. Residences

Elan Sassoon

CONSULTANTS:

81-83 Alpine St. Residences

② West (Right Side) Elevation
1/4" = 1'-0"

81-83 Alpine St. Residences

81-83 Alpine Street
Somerville, MA 02144

Elan Sassoon



KHALSA

CONSULTANTS:

[illegible]

A-301

81-83 Alpine St. Residences

\\TKG-SERVER\Data\19119016-Sasoon-81 Alpine st-15-lake-111 summer\03 Drawings\00_ARCH_SD_DDI\19016_81 Alpine St_SD4.rvt

5/23/2019 3:47:20 PM



① North (Front) Elevation EXTENDED
1/16" = 1'-0"



91-93 ALPINE STREET



87 ALPINE STREET



81-83 ALPINE STREET



73 ALPINE STREET



71 ALPINE STREET

PROJECT NAME

**81-83 Alpine St.
Residences**

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Somerville, MA 02144

CLIENT

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Project number 19016
Date 05/23/2019
Drawn by MJ
Checked by JSK
Scale 1/16" = 1'-0"

REVISIONS

No.	Description	Date

Street Elevation

A-303

81-83 Alpine St. Residences



PROJECT NAME

81-83 Alpine St. Residences

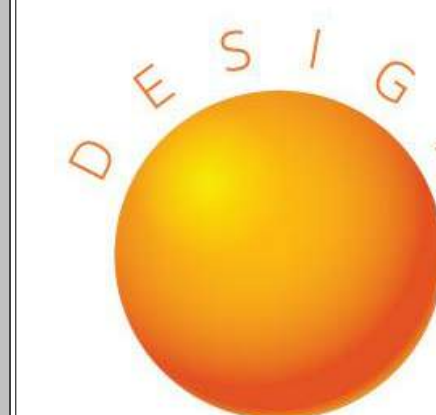
PROJECT ADDRESS

81-83 Alpine Street
Somerville, MA 02144

CLIENT

Elan Sasso

ARCHITECT



KHALSA

17 IVALOO STREET SUITE 400
SOMERVILLE, MA 02143
TELEPHONE: 617-591-8682 FAX:
617-591-2086

CONSULTANTS:

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OF PROSECUTION UNDER LAW

REGISTRATION



Project number	19016
Date	05/23/2019
Drawn by	Author
Checked by	Checker
Scale	

REVISIONS

[illegible]

Alpine St View Rendering

AV-1

81-83 Alpine St. Residences

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PROJECT NAME
**81-83 Alpine St.
Residences**

PROJECT ADDRESS
81-83 Alpine Street
Somerville, MA 02144

CLIENT
Elan Sassoon

ARCHITECT


KHALSA

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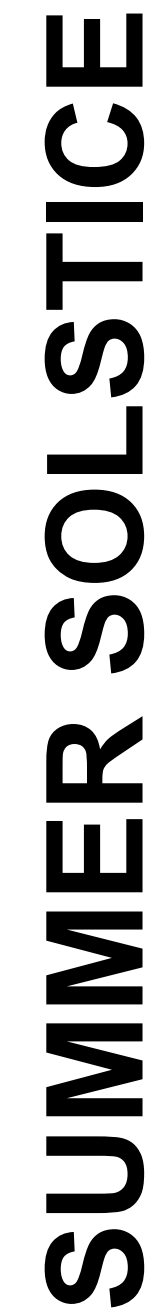
Project number 19016
Date 05/23/2019
Drawn by MI
Checked by JSK
Scale

REVISIONS		
No.	Description	Date

Front View

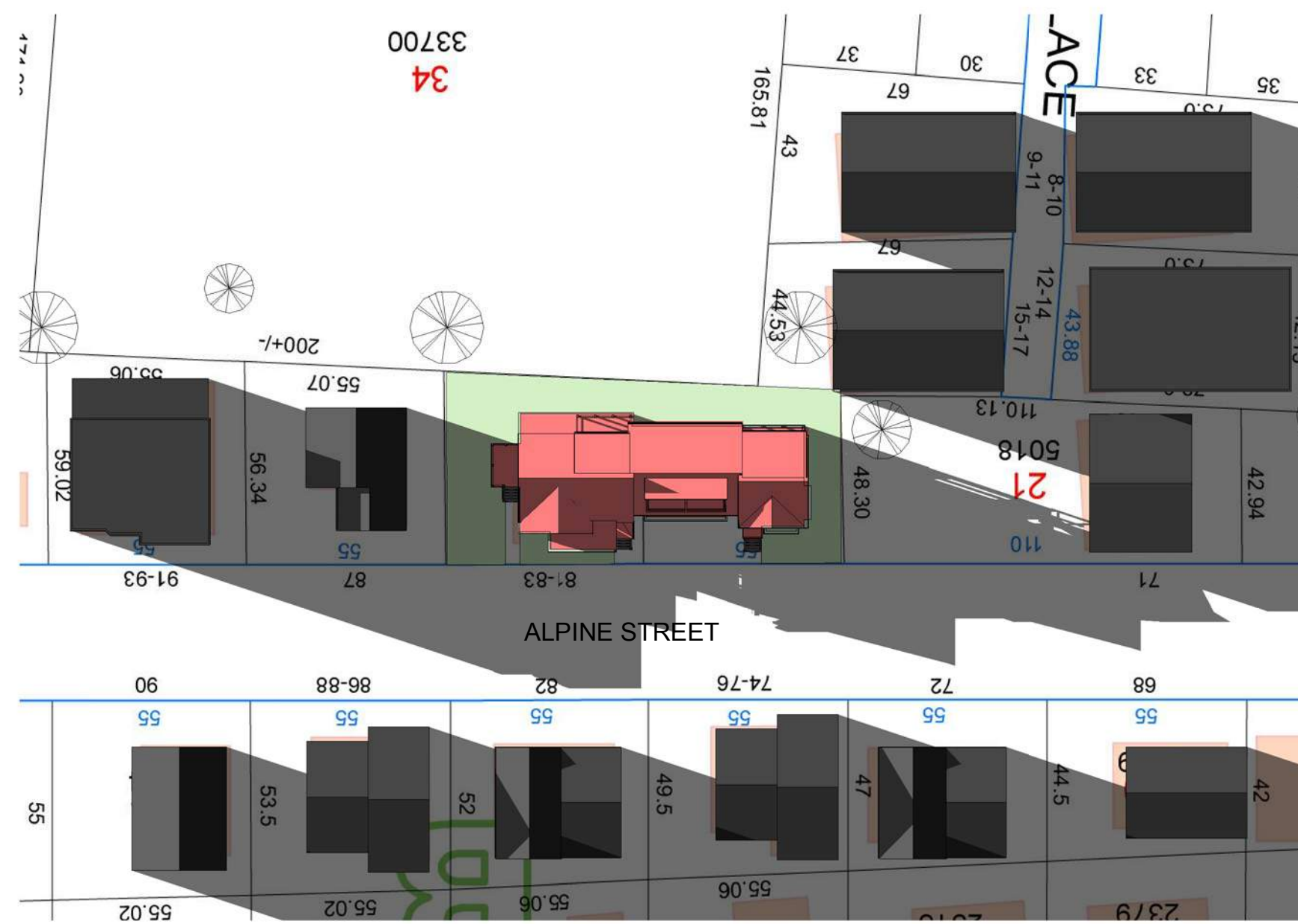
AV-2

81-83 Alpine St. Residences



FALL / SPRING EQUINOX

WINTER SOLSTICE



The map shows a residential neighborhood with a proposed development highlighted in red. The development is located at the intersection of Alpine Street and a street labeled 'ACE'. The map includes lot numbers, street names, and a green highlighted area for the proposed development. The proposed building is a large, multi-story structure with a red roof and walls. The surrounding area includes existing buildings, streets, and a green highlighted area for the proposed development. The map also shows a green highlighted area for the proposed development, which is a large, multi-story structure with a red roof and walls. The map includes lot numbers, street names, and a green highlighted area for the proposed development.



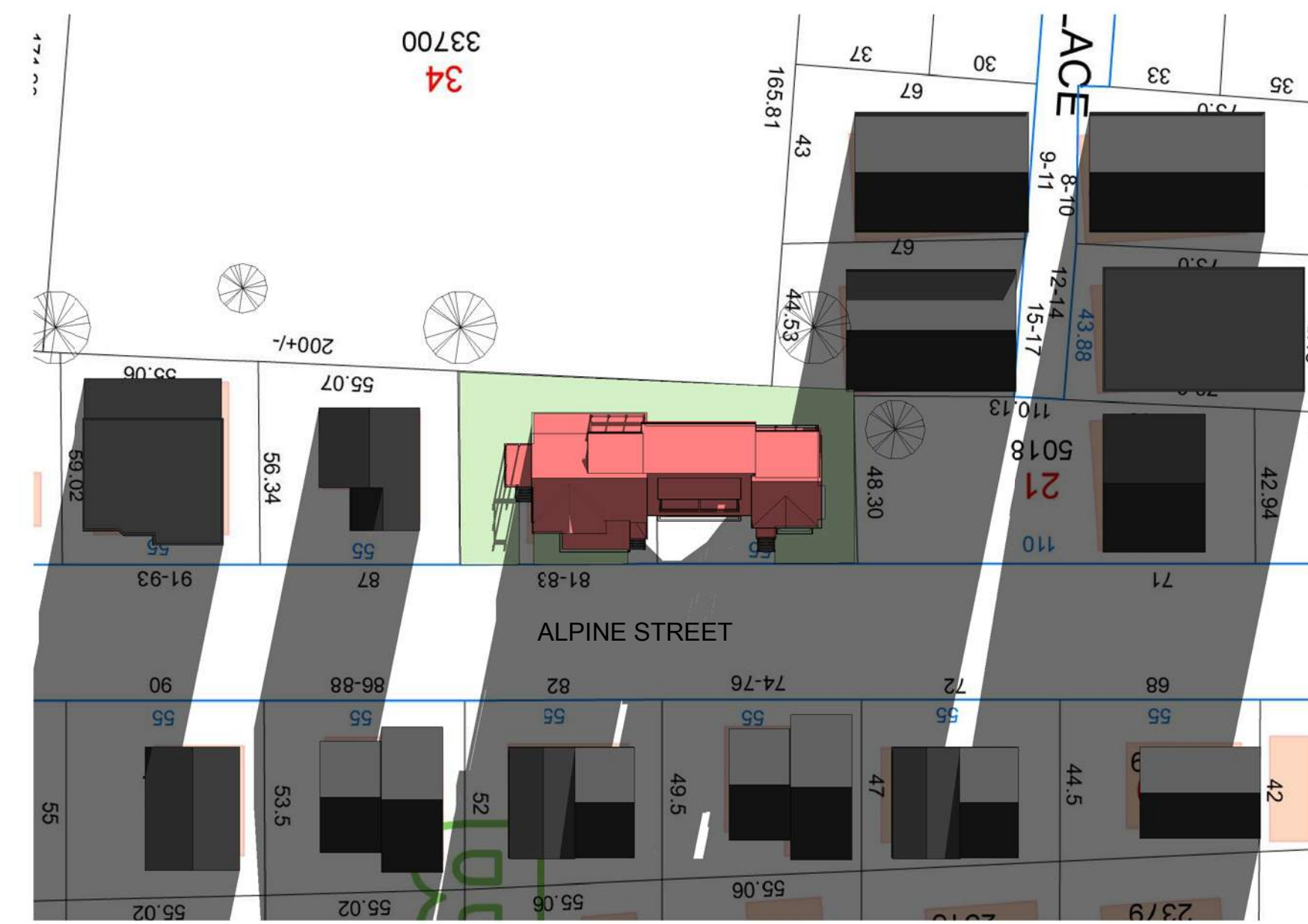
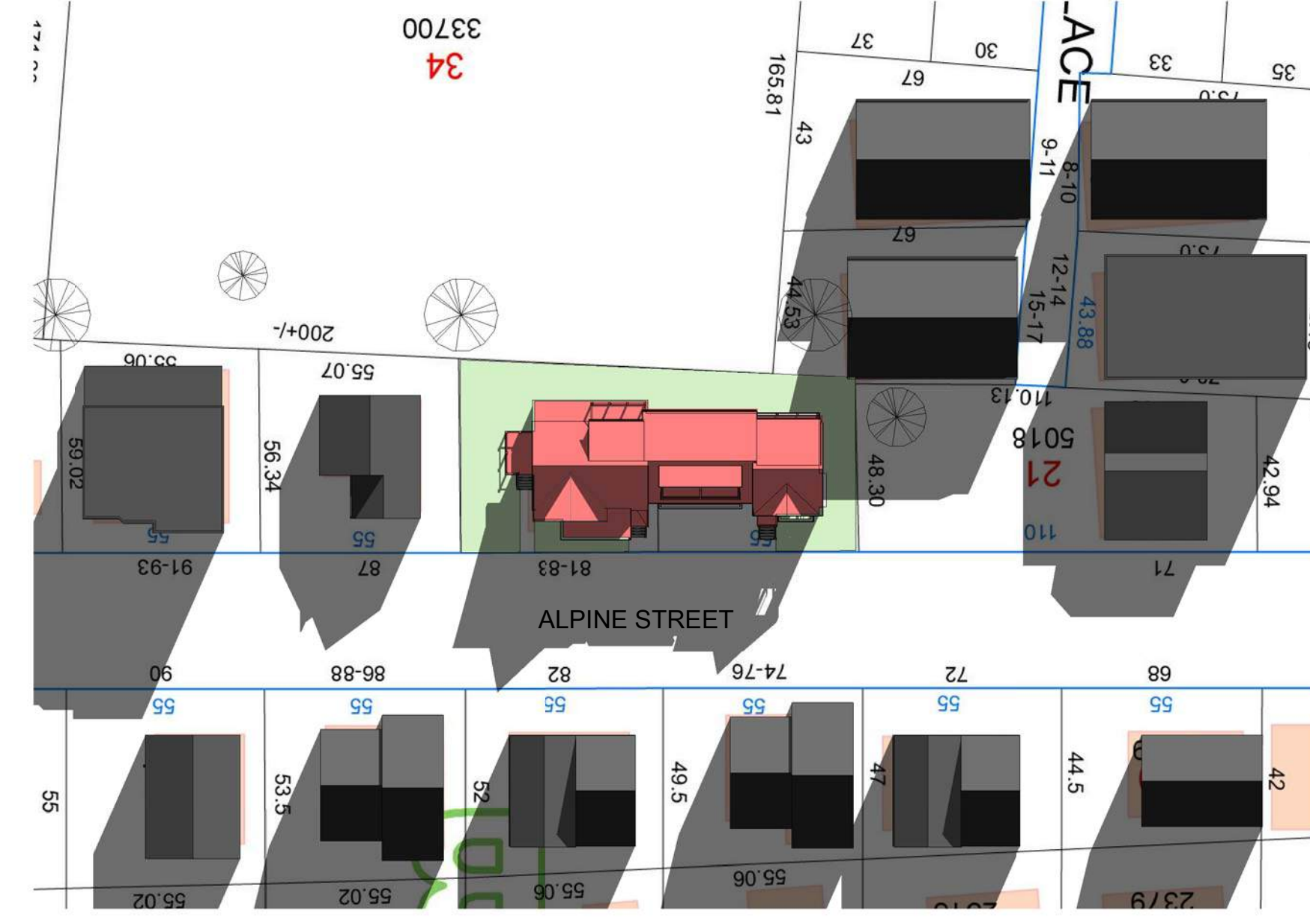
This is an aerial map of a residential neighborhood in San Francisco, showing property boundaries, lot numbers, and street names. The map is oriented with Alameda Street at the top and Alameda Avenue at the bottom. A red building is highlighted in the center. The map includes lot numbers, street names, and a scale bar.

Streets:

- Alameda Street (top)
- Alameda Avenue (bottom)
- Alpine Street (left, running vertically)
- Alameda Street (right, running horizontally)

Lot Numbers:

- Top row (left to right): 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818,



81-83 Alpine St. Residences

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81-83 Alpine Street
Somerville, MA 02144

Elan Sassoon



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EX-100

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